

1495 10/30

MEMORANDUM

October 30, 1969

TO: BOSTON REDEVELOPMENT AUTHORITY

FROM: JOHN D. WARNER, DIRECTOR

SUBJECT: BOARD OF APPEAL REFERRALS

Re: Petition No. Z-1596 Hurley & Johnson
290 North Beacon St., Brighton

Petitioner seeks a forbidden use permit and five variances to erect a one story concrete addition to a warehouse and automotive supply facility in a Local Business (L-.5) District. The proposal would violate the code as follows:

		<u>Reqd.</u>	<u>Prop.</u>
Sect. 8-7	A wholesale business is forbidden in an L-.5 District.		
Sect. 15-1	Floor area ratio is excessive	0.5	0.84
Sect. 18-1	Front yard is insufficient	15 ft.	2 ft.
Sect. 19-1	Side yard is insufficient	10 ft.	0
Sect. 23-1	Off-street parking is insufficient	50 spaces	38 spaces
Sect. 24-2	Loading bay width is insufficient	10 ft.	8 ft.

The property, located at the intersection of North Beacon and Goodenough Streets, contains a one story warehouse and automotive supply facility. The proposed expansion is reasonable and would be compatible with other commercial and industrial uses existing in the area. The staff recommends that no vehicle openings be allowed at the rear of the proposed addition which would be adjacent to the Faneuil Public Housing Project. Recommend approval with proviso.

VOTED: That in connection with Petition No. Z-1596, brought by Hurley & Johnson, 290 North Beacon Street, Brighton, for a forbidden use permit and variances of excessive floor area ratio, insufficient front yard, side yard, off-street parking and loading bay width to erect a one story addition to a warehouse and automotive supply facility in a Local Business (L-.5) District, the Boston Redevelopment Authority recommends approval provided that no vehicle openings be allowed at the rear of the proposed addition which would be adjacent to the Faneuil Public Housing Project. The expansion would be compatible with surrounding commercial and industrial uses.

VINELAND

NORTH

STREET

BEACON

ST.

VENUE

FANEUIL

Z-1596
290 NO. BEACON ST.
(BRI.)

STREET

PLAYGROUND

MC KINNEY

256,903

256,903

3495

3200

4000

4510

4058

6059

15,480

11,433

330,294

18,897

7536

8823

4463

6185

5330

13,923

13,851

43,752

14,710

2836

3558

2800

4275

328

9501

FANEUIL
BOSTON
BCS-ON
200-4
DEVELOPMENT
HOUSING
AUTHORITY

PARKING

PARKING

PARKING

PARKING

PARKING

6300

10,910

19,507

4736

3710

13,120

19,544

3982

54

40

19

40

19

40

19

40

19

40

ENOUGH

GOOD

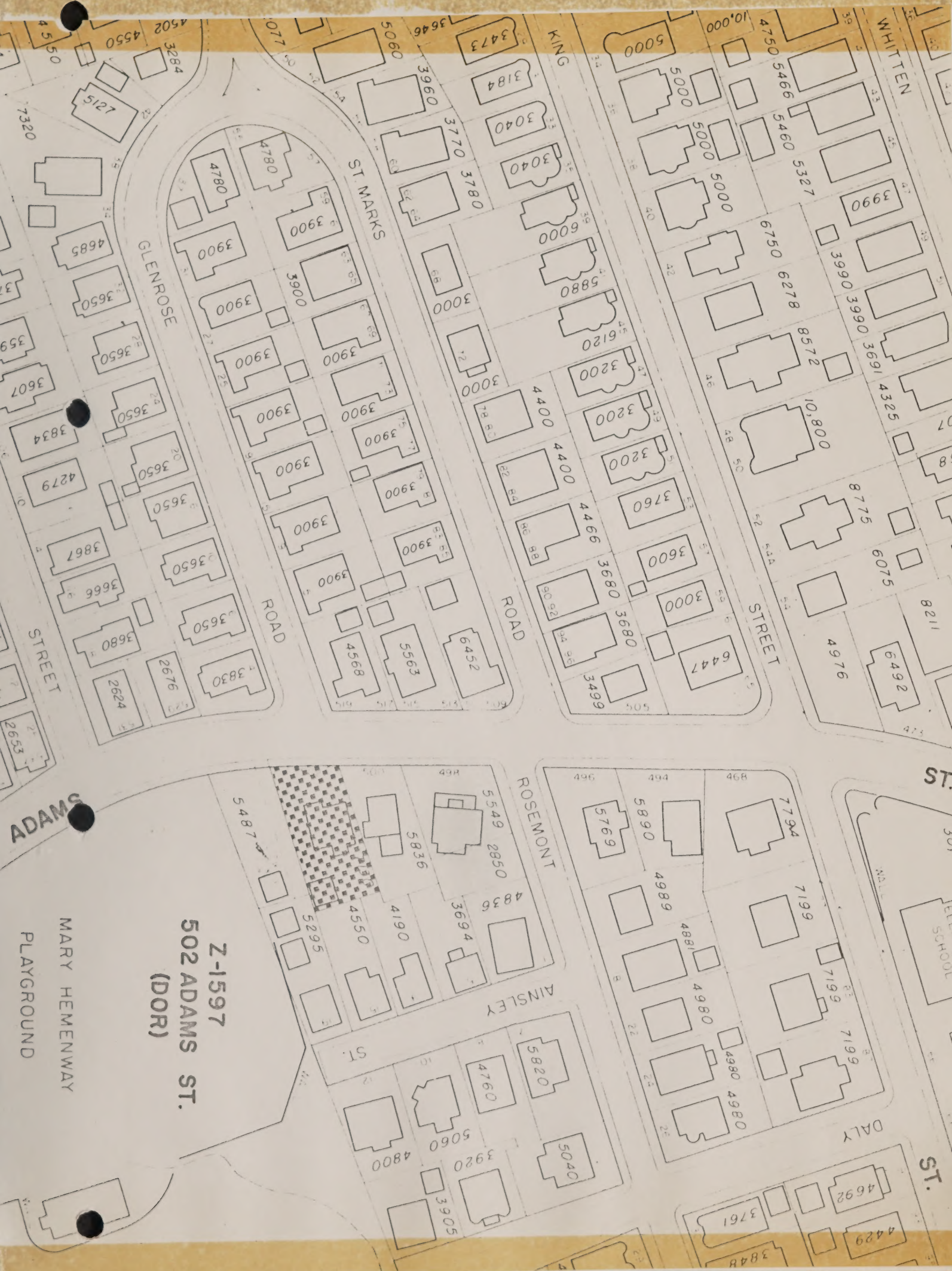
Re: Petition No. Z-1597
Emile Lingertat
502 Adams Street, Dorchester

Petitioner seeks a forbidden use permit and a variance for a change of occupancy from a two family dwelling to a two family dwelling and a beauty shop in a Residential (R-.5) District. The proposal would violate the code as follows:

		<u>Reqd.</u>	<u>Prop.</u>
Sect. 8-7	A beauty shop is forbidden in an R-.5 District.		
Sect. 14-2	Lot area for additional unit is insufficient.	3000sf/u	0

The property, located on Adams Street near the intersection of Rosemont Street, contains a two story frame dwelling. The petitioner would utilize a room of the first floor apartment for the facility. There is no objection to the use of the property for a proposed beauty shop. However, the staff recommends that the existing driveway accommodate off street parking and that any sign comply with the provisions of Section 11-1 of the code. Recommend approval with proviso.

VOTED: That in connection with Petition No. Z-1597, brought by Emile Lingertat, 502 Adams Street, Dorchester, for a forbidden use permit and a variance of insufficient lot area for additional unit, for a change of occupancy from a two family dwelling to a two family dwelling and a beauty shop in a Residential (R-.5) District, the Boston Redevelopment Authority recommends approval provided that the existing driveway accommodate off-street parking and that any sign comply with the provisions of Section 11-1 of the code.



Re: Petition No. Z-1599
Shodis Realty Trust
16 Westford Street, Brighton

Petitioner seeks five variances to erect a three-story and basement eight unit apartment dwelling in a Residential (R-.8) District. The proposal would violate the code as follows:

		<u>Reqd.</u>	<u>Prop.</u>
Sect. 10-1	Parking not allowed within 5 ft. of a side lot line		
Sect. 14-2	Lot area for additional dwelling unit is insufficient	1500sf/du	380sf/du
Sect. 15-1	Floor area ratio is excessive	0.8	0.99
Sect. 17-1	Usable open space is insufficient	800sf/du	450sf/du
Sect. 20-1	Rear yard is insufficient	40 ft.	10 ft.

The property, located on Westford Street near the intersection of Raymond Street, contains 7652 square feet of vacant land. The proposed apartment use would improve the neighborhood. However, the staff recommends that the number of apartments be limited to six with no basement apartments. The parking area should be provided with adequate landscape screening and the existing planting at the sides of the lot be allowed to remain. Recommend approval with proviso.

VOTED: That in connection with Petition No. Z-1599, brought by Shodis Realty Trust, 16 Westford Street, Brighton, for variances of parking not allowed within 5 feet of a side lot line, insufficient lot area for additional dwelling unit, usable open space, rear yard and excessive floor area ratio to erect a three story and basement eight unit apartment dwelling in a Residential (R-.8) District, the Boston Redevelopment Authority recommends approval provided that the number of apartments be limited to six with no basement apartments; that the parking area be provided with adequate landscaped screening; and, that the existing planting at the sides of the lot be allowed to remain.

42,347

315

WESTERN

PLAC

CALLAHAN

11,000

5877

5457

AVENUE

AVE.

9163

48,291

24,489

PARKING

6000

16,990

7070

33,92

5000

3725

15,744

3450

3375

7547

4425

4886

13

2772

3300

3528

9379

4612

5062

5062

7362

4531

4104

4104

4301

SQUARE

8000

8015

16,144

748

4183

RAYMOND

WESTFORD

WESTFORD PLACE

STREET

WESTFORD

STREET

21,780

10,890

10,511

8438

14,662

3500

10,575

9400

5566

5733

5643

9120

28,492

4680

5850

6290

3665

4681

5264

BRENTWOOD

9072

0,268

STREET

STREET

Z-1599

16 WESTFORD ST.

(BRI)

THOMAS GARDNER
ELEMENTARY SCHOOL

9121

60,416

PARKING

PRES

341

Re: Petition No. Z-1600
1000 Corporation
1000 VFW Parkway, West Roxbury

Petitioner seeks a forbidden use permit and five variances to erect an eight story 288 unit apartment dwelling in a Single Family (S-.5) District. The proposal would violate the code as follows:

		<u>Reqd.</u>	<u>Prop.</u>
Sect. 8-7	A multi family dwelling is forbidden in an S-.5 District.		
Sect. 14-2	Lot area for additional dwelling unit is insufficient.	4000sf/du	383sf/du
Sect. 15-1	Floor area ratio is excessive	0.5	2.34
Sect. 16-1	Height of building is excessive.	2½ stories	8 stories
		35 ft.	69 ft.
Sect. 18-1	Front yard is insufficient.	25 ft.	10 ft.
Sect. 20-1	Rear yard is insufficient.	40 ft.	15 ft.

The property, located on VFW Parkway in the area of Capital Street, Park Lane Drive & Farragut Street and across from St. Joseph's Cemetery contains 116,125 square feet of vacant land. Capital Street is dead end and the property inclines sharply to VFW Parkway. The single family residential character of the neighborhood should not be destroyed by the proposed high density and badly designed development. Recommend denial.

VOTED: That in connection with Petition No. Z-1600, brought by 1000 Corporation, 1000 VFW Parkway, West Roxbury, for a forbidden use permit and variances of insufficient lot area for additional dwelling unit, front yard, rear yard, excessive floor area ratio and building height to erect an eight story 288 unit apartment dwelling in a Single Family (S-.5) District, the Boston Redevelopment Authority recommends denial. The single family residential character of the neighborhood should not be destroyed by the proposed high density and badly designed development.

1,057,700

1000 V.F.W. PARKWAY
(W R)

WARS

FOREIGN

OF

VETERANS

FARRAGUT

ELLSWOOD

68,010

4416 4211

Re: Petition No. Z-1618
 Peter A. Loukas
 11 Grovenor Road, Jamaica Plain

Petitioner seeks a forbidden use permit and three variances for a change of occupancy from six apartments to eight apartments and six lodgers in a Residential (R-.8) and a Local Business (L-1) District. The proposal would violate the code as follows:

	<u>Reqd.</u>	<u>Prop.</u>
Sect. 8-7 Any dwelling converted for more families and not meeting the requirements of lot area, open space and off-street parking is forbidden in an R-.8 District.		
Sect. 14-2 Lot area for additional dwelling is insufficient	1500 sf/du	25 sf/du
Sect. 17-1 Usable open space is insufficient	800 sf/du	241 sf/du
Sect. 23-1 Off-street parking is insufficient	5 spaces	0

The property, located on Grovenor Road near the intersection of Centre Street, contains a three story brick structure. The proposed density is excessive and would be incompatible with the surrounding residential properties. The off-street parking deficiency would further aggravate the severe traffic problem presently existing in the neighborhood. Recommend denial.

VOTED: That in connection with Petition No. Z-1618, brought by Peter A. Loukas, 11 Grovenor Road, Jamaica Plain, for a forbidden use permit and variances because of an insufficient lot area for additional dwelling units, insufficient open space and off-street parking and for a change of occupancy from six apartments to eight apartments plus an additional six lodgers in a Residential (R-.8) and a Local Business (L-1) District, the Boston Redevelopment Authority recommends denial. The proposed density would be excessive and would be incompatible with the surrounding residential properties. The off-street parking deficiency would further aggravate the severe traffic problem presently existing in the neighborhood.



Re: Petition No. Z-1620
Albert Sergi
31 Harvard Avenue, Allston

Petitioner seeks two conditional use permits and a variance for the outdoor sale and display of 25 used cars and to erect a two car repair shop garage in a General Business (B-1) District. The proposal would violate the code as follows:

		<u>Reqd.</u>	<u>Prop.</u>
Sect. 8-7	The outdoor sale and display of new or used cars is a conditional use in a B-1 District.		
Sect. 8-7	A repair shop garage is a conditional use in a B-1 District.		
Sect. 23	Off-street parking not provided	11 spaces	0

The property, located on Harvard Avenue between Brighton Avenue and Cambridge Street, contains a repair shop garage and office apparently erected without a permit. The petitioner would lease 7300 square feet at the front of the lot for the proposed operation. The plan as submitted is unacceptable. In addition to the lack of off-street parking, there would be no maneuvering space for the 25 cars proposed for display. The traffic flow on Harvard Avenue would be seriously affected by the proposal. Recommend denial.

VOTED: That in connection with Petition No. Z-1620, brought by Albert Sergi, 31 Harvard Avenue, Allston, for two conditional use permits and a variance of off-street parking not provided for the outdoor sale and display of 25 used cars and to erect a two car repair shop garage in a General Business (B-1) District, the Boston Redevelopment Authority recommends denial. The repair shop garage is existing. The plan as submitted is unacceptable. In addition to the lack of off-street parking, there would be no maneuvering space for the 25 cars proposed for display. The traffic flow on Harvard Avenue would be seriously affected by the proposal.

